



**CITY OF SUNNYVALE  
REPORT  
Administrative Hearing**

**April 26, 2006**

**SUBJECT:**           **2006-0311- Lenga Nguyen** [Applicant] **Dat Tat Phan and Lenga Nguyen** [Owners]: Application for a 6,000 square foot site located at **545 East Arques Avenue** (near Lastreto Ave) in an R-3 (Medium-Density Residential) Zoning District.

Motion               Variance from Sunnyvale Municipal Code section 19.34.030 to allow a minimum side yard setback of 5 feet 9 inches instead of the required 6 feet, and a total side yard setback of 13 feet 6 inches instead of the required 15 feet.

**REPORT IN BRIEF**

<b>Existing Site Conditions</b>	Existing one-story residence
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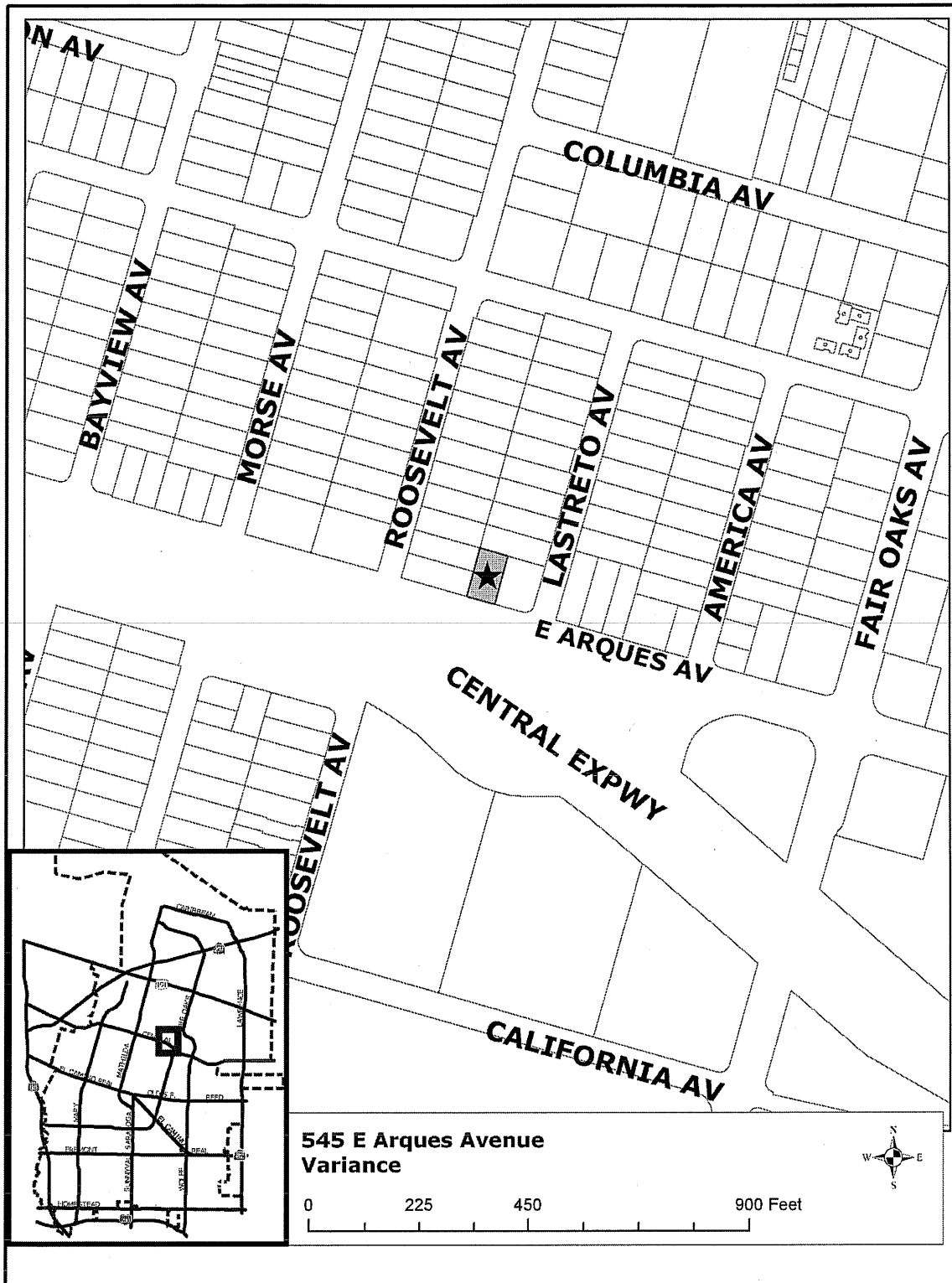
**Surrounding Land Uses**

North	Single-Family Residential
South	Central Expressway
East	Single-Family Residential
West	Single-Family Residential

<b>Issues</b>	Justifications for a Variance
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<b>Environmental Status</b>	A Class 1 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines.
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<b>Staff Recommendation</b>	Deny Variance
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**PROJECT DATA TABLE**

	<b>EXISTING</b>	<b>PROPOSED</b>	<b>REQUIRED/ PERMITTED</b>
<b>General Plan</b>	Residential Medium Density	Same	Residential Medium Density
<b>Zoning District</b>	R-3	Same	R-3
<b>Lot Size (s.f.)</b>	6,000	Same	8,000 min.
<b>Gross Floor Area (s.f.)</b>	1,917	2,002	2,700 max. without PC review
<b>Lot Coverage (%)</b>	32.0%	33.4%	45% max. (for a one-story)
<b>Floor Area Ratio (FAR)</b>	32.0%	33.4%	45% max. without PC review
<b>No. Buildings On-Site</b>	1	Same	---
<b>Building Height (ft.)</b>	14' 6"	Same	30' max.
<b>No. of Stories</b>	1	Same	2 max.
<b>Setbacks (Facing Property)</b>			
<b>Front</b>	20'	Same	20 min.
<b>Left Side</b>	7' 9" (13' 6")	Same, <b>increasing</b> non-conformity	6' min. (15' total)
<b>Right Side</b>	7' 9" (13' 6")	Same	6' min. (15' total)
<b>Rear</b>	22' 8"	Same	20 min.
<b>Parking</b>			
<b>Total Spaces</b>	4	4	min.
<b>Standard Spaces</b>	2	2	min.
<b>Covered Spaces</b>	2	2	min.

★ Starred items indicate deviations from Sunnyvale Municipal Code requirements.

**ANALYSIS****Description of Proposed Project**

The applicant is proposing an addition of 85 square feet to an existing 1,917 square foot single-story residence, so the house will total 2,002 square feet when completed. The existing home has three bedrooms, a family room, living room, kitchen, and two-car garage. The scope of the project is to expand the living room forward, toward the street. The proposed addition would continue

along the existing line of the wall an additional 4 feet into the front yard, before jogging in to create a window box effect that protrudes an additional 2 feet forward, but behind the required front yard setback.

The existing structure is legal non-conforming with regard to the total side yard setback. The structure has a total side yard setback of 13 feet 6 inches where 15 feet is required by the Sunnyvale Municipal Code (SMC) section 19.34.030. The applicant is requesting that the addition continue along the existing wall, increasing the existing non-conformity.

### **Background**

The subject site is located in a single-family residential neighborhood which is zoned primarily Low-Medium Density Residential (R-2). From the subject site eastward along Arques, the properties are zoned Medium Density Residential (R-3), despite many of the properties not meeting the minimum R-3 requirements, including lot width.

The subject was constructed in 1976. The construct dates for houses in the vicinity of the subject site range from 1930s to the 1950s.

**Previous Actions on the Site:** A Variance was approved for the subject site and the neighboring site (549 E. Arques) in 1976 for a reduced lot width. The subject site is 60 feet wide, which is only half of the 120 linear feet required by the City Code.

### **Environmental Review**

A Class 1 Categorical Exemption relieves this project from California Environmental Quality Act provisions. Class 1 Categorical Exemptions include modifications to existing structures.

### **Variance**

**Surrounding Area:** The subject site is located in a residential area that is bounded to the south by Central Expressway. The lots in the area are zoned either R-2 (Low-Medium Density Residential) or R-3 (Medium Density Residential) with a range of one to three dwelling units per lot. The R-2 lots are primarily 7,000 square feet with lot widths of 50 linear feet. The SMC requirements for R-2 lots include a minimum lot size of 8,000 square feet and a minimum lot width of 76 linear feet (for interior lots). Attachment D includes an Assessor's Map of the surrounding area, including an indication of the variation in zoning.

The SMC minimum requirements for R-3 lots (such as the subject site) are 8,000 square feet for lot size and a lot width of 120 linear feet (for interior lots). The R-3 lots located near the subject site along Arques vary as noted in the following table.

Property Address	Lot Widths (feet)	Lot Size (square feet)
545 Arques ( <i>subject site</i> )	60	6,000
549 Arques	74	7,314
555 Arques	48	7,200
559 Arques	48	7,200
563 Arques	44	6,600
565 Arques	90	8,984
569 Arques	50	5,000
<b>Average</b>	<b>59 ft.</b>	<b>6,900 sq. ft.</b>

**Site Layout:** The site has a house and attached garage situated in the center of the lot. Viewed from the street, the garage is the more prominent feature as it is at the 20 foot setback and the living area is recessed an additional 15 feet from the street. The existing structure in total conforms to or exceeds current front and rear yard setback requirements as well as minimum side yard requirements for one side. However, the existing structure is considered to be legal, non-conforming with the Municipal Code as it does not meet the total side yard setback requirements (see Attachment E).

The lot width of 60 linear feet of the subject site is less than the 120 feet minimum designated by the Municipal Code, although it conforms to the existing average lot width of the R-3 lots along this section of Arques Avenue. In addition, the average lot width for the neighboring R-2 lots is 50 linear feet.

The 6,000 square foot lot size of the subject site is less than the SMC requirements of 8,000 square feet and less than the average of 6,900 square feet for the neighboring R-3 lots along Arques Avenue.

The proposed addition seeks to enlarge the 192 square foot living room to accommodate the need for a larger family and guest space. The applicant has sought to address the increased setback requirement, in part, by designing a bay window effect with the front two feet of the proposed addition. Thus, only four feet of additional non-conforming setback is requested, rather than the full six feet.

**Architecture:** The proposed addition will replace the existing wood siding with stucco material, and include a re-roofing of the house to replace the existing with new composite shingle.

The following Guidelines from the Single-Family Design Techniques were considered in the analysis of the project architecture:

Design Policy or Guideline (Architecture)	Comments
<i>2.2 Basic Design Principles Respect the scale, bulk, and character of homes in the adjacent neighborhood.</i>	The addition would occur be a minor addition to the existing structure and would be compatible with the surrounding neighborhood.
<i>3.1 Design Techniques Design homes to respect their immediate neighbors.</i>	

**Parking:** As required by Sunnyvale Municipal Code, the site provides a two-car garage and two uncovered parking spaces.

**Compliance with Development Standards/Guidelines:** The site currently meets all standard requirements for the R-3 Zoning District, with the exception of the total side yard setback. The requested Variance would allow an exception to the total side yard setback requirement (13 feet 6 inches where 15 feet is required) for a total of four additional feet.

**Expected Impact on the Surroundings:** The proposed addition would have a minimal impact on the surrounding neighborhood. If the Variance is approved, a precedent would be set that may increase Variance requests in the neighborhood; however, staff does not believe this scenario would come to fruition. The addition to the living area would result in a small enhancement to the streetscape in that it would balance the visual impact of the existing garage.

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### Public Contact

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Staff received one telephone call from the relative of a neighbor of the subject site who wanted additional information on the scope of the project; no support or opposition to the project was expressed.

Notice of Public Hearing	Staff Report	Agenda
<ul style="list-style-type: none"> <li>Published in the <i>Sun</i> newspaper</li> <li>Posted on the site</li> <li>6 notices mailed to adjacent property owners and residents of the project site</li> </ul>	<ul style="list-style-type: none"> <li>Posted on the City of Sunnyvale's Website</li> <li>Provided at the Reference Section of the City of Sunnyvale's Public Library</li> </ul>	<ul style="list-style-type: none"> <li>Posted on the City's official notice bulletin board</li> <li>City of Sunnyvale's Website</li> <li>Recorded for SunDial</li> </ul>

## Conclusion

**Applicant's Justification:** The applicant has addressed the three required findings for a Variance in Attachment C – Applicant's Letter of Justification. The applicant contends the following:

- The size and shape of the lot is different from neighboring lots.
- The proposed addition would not have a negative impact on the neighbors.
- There are no homes located across the street (Central Expressway).

**Discussion:** Staff is able to make the first Variance Finding regarding exceptional conditions that apply to this property due to the parcel's size given the previously approved Variance for the sub-standard lot width. Even if the R-2 standard is applied, given that the subject site is a single-family home, the standard lot width of 76 feet for an R-2 lot exceeds the existing lot width of 60 by 16 feet. If the lot width met the minimum standards, the Variance would not be necessary.

Staff is able to make the second Variance Finding that granting the application will not be materially detrimental to the public welfare. Staff believes the addition will not impact the neighborhood in any measurable sense.

Staff cannot make the third Finding that granting the Variance will not grant a special privilege not enjoyed by other surrounding property owners. Approving this request would allow a significant majority of the homes in the neighborhood to make the same findings for reducing the front yard setback, due to similar parcel sizes, lot width, and siting of homes.

However, a precedence for setback Variances within the vicinity of the site may have already been set. The following table shows all Variance applications submitted to the City in the neighborhood. All of the following were approved.

Property Address	Date	Variance Description
325 Arques	1/30/1980	Reduced second-story setback for addition
305 Arques	8/11/1978	Reduced setback (corner lot)
332 Lastreto	1/14/1981	Front and side yard setbacks
389 Lastreto	8/24/1970	Side yard setbacks
243 Roosevelt	6/29/1983	Side yard setback
306 Roosevelt	7/12/1965	Rear and side yard setbacks
324 Roosevelt	5/25/1964	Side yard setback

There are also residences in the area that do not conform to current SMC setbacks. Most of these nonconforming setbacks were created when the homes were initially constructed in the 1930s or 1950s. These non-conforming setbacks are a part of the original building that took place under the Municipal Code at that time.

It is of note that requiring the addition to have an increased side yard would result in unevenly configured living room. While the rear yard has sufficient are for an addition to the home, creating the desired additional family and guest space in the rear of the home would require a complete reconfiguration of the existing home.

**Findings:** Staff is recommending denial for this application because the third Finding (Attachment A) could not made. However, if the approving authority is able to make the required findings, staff is recommending the Conditions of Approval (Attachment B) for the project be attached to the approval.

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### **Alternatives**

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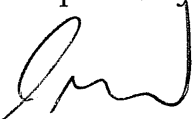
1. Deny requested Variance
  2. Approve the application with attached conditions
  3. Approve the application with modified conditions
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**Recommendation**

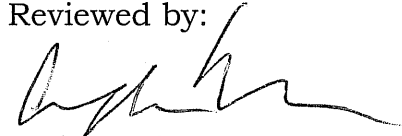
Alternative 1.

Prepared by:



Jamie McLeod  
Project Planner

Reviewed by:



Andrew Miner  
Principal Planner

**Attachments:**

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- A. Recommended Findings
  - B. Recommended Conditions of Approval
  - C. Applicant Letter of Justification
  - D. Assessor Parcel Map
  - E. Site and Architectural Plans
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**Recommended Findings - Variance**

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1. Because of exceptional or extraordinary circumstances or conditions applicable to the property, or use, including size, shape, topography, location or surroundings, the strict application of the ordinance is found to deprive the property owner or privileges enjoyed by other properties in the vicinity and within the same zoning district.

Staff is able to make this Finding because the site has a substandard lot width, which was approved through a 1976 Variance. Even if the R-2 lot width standard is applied, the lot width is still sub-standard and does not allow for the minor addition that would otherwise meet zoning standards.

2. The granting of the Variance will not be materially detrimental to the public welfare or injurious to the property, improvements, or uses within the immediate vicinity and within the same zoning district.

Staff is able to make this finding because approving this request would not be detrimental to the neighborhood.

3. Upon granting of the Variance, the intent and purpose of the ordinance will still be served and the recipient of the Variance will not be granted special privileges not enjoyed by other surrounding property owners within the same zoning district.

Staff is not able to make this Finding because approving this request may allow a significant number of homes in the neighborhood to make the same findings for expansion of the home, due to similar sub-standard parcel sizes.

**Recommended Conditions of Approval if the Variance is Granted.**

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In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following conditions of approval of this Permit:

Unless otherwise noted, all conditions shall be subject to the review of approval of the Director of Community Development.

**1. GENERAL CONDITIONS**

- A. The Variance shall be null and void two years from the date of approval by the final review authority if the approval is not exercised.
- B. Project shall be in conformance with the plans approved at the public hearing. Minor changes may be approved by the Director of Community Development; major changes may be approved at a public hearing.
- C. The Conditions of Approval shall be reproduced on the front page of the plans submitted for a Building permit for this project.
- D. Obtain building permits for the proposed plan.

**2. DESIGN/EXTERIOR COLORS AND MATERIALS**

- A. Final exterior building materials and color scheme are subject to review and approval by the Director of Community Development prior to issuance of a building permit.
- B. Roof material shall match the existing home or if replaced entirely, be 50-year dimensional composition shingle or equivalent warranty material providing texture and shadow effect, or as approved by the Director of Community Development.

## VARIANCE JUSTIFICATIONS

Justifications must be submitted by the applicant with all Variance applications. Use this sheet or a separate sheet of paper to complete all of the three statements below.

In granting a Variance, all of the following justifications must be made by the Planning Commission or the Administrative Hearing Officer:

19.84.050. Findings.

(a) A Variance from the requirements of this title, except for the height of a ground sign, shall be approved only upon a showing by the applicant that:

1. Because of exceptional or extraordinary circumstances or conditions applicable to the property, or use, including size, shape, topography, location or surroundings, the strict application of the ordinance is found to deprive the property owner of privileges enjoyed by other properties in the vicinity and within the same zoning district.

- Our house is located in R3 zone, which requires 15' from set back. The existing house has 13'2" set back, therefore our addition on the front doesn't meet the requirement of the R3 zone.

The lot size of our house compare with the neighbor in the zone is quite small lot and the shape of the lot is different with neighbor.

2. The granting of the Variance will not be materially detrimental to the public welfare or injurious to the property, improvements or uses within the immediate vicinity and within the same zoning district.

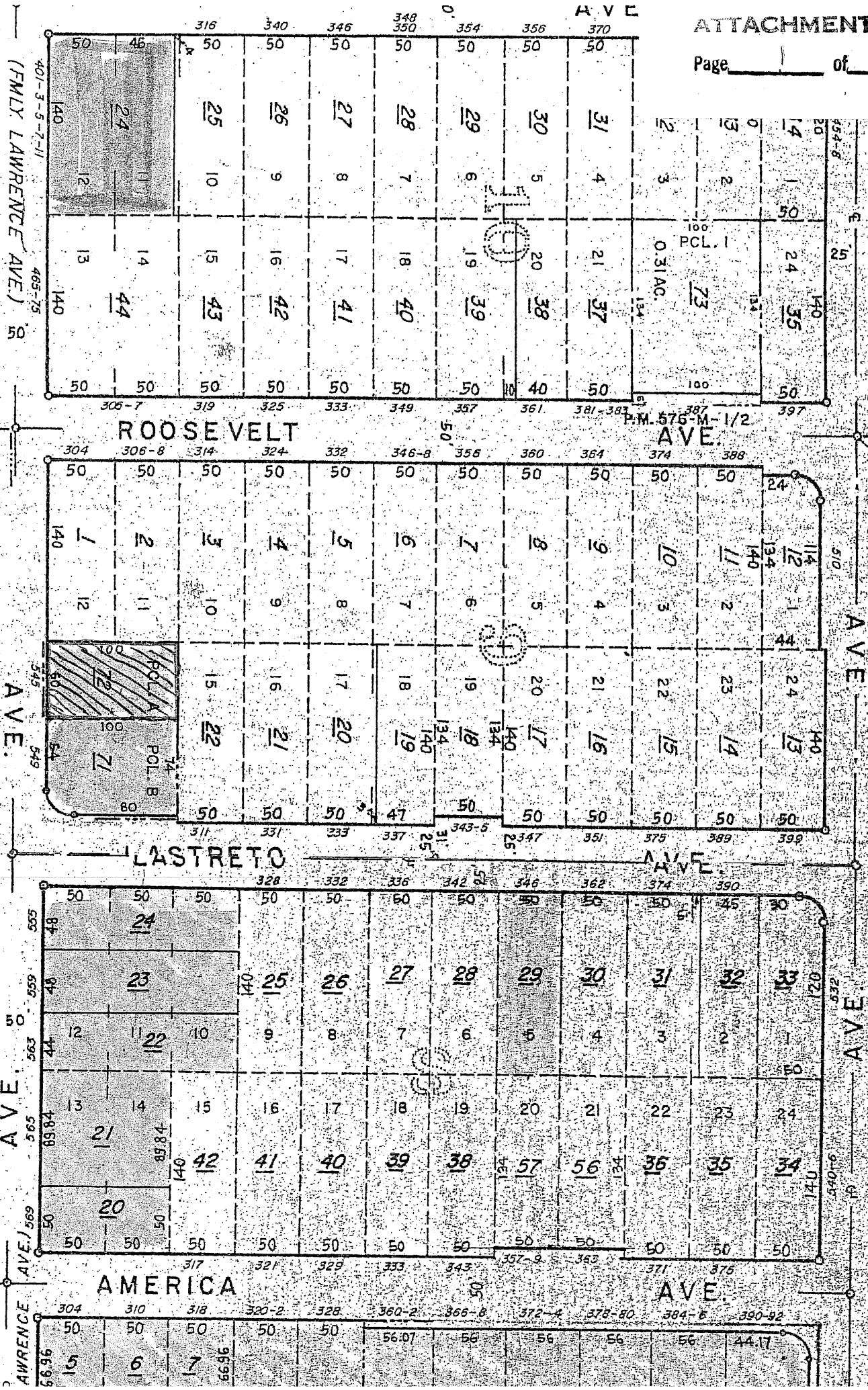
- In addition, the neighbor of the planned extension is the backyard and the extension will not cause any problem to our neighbor.

3. Upon granting of the Variance the intent and purpose of the ordinance will still be served and the recipient of the Variance will not be granted special privileges not enjoyed by other surrounding property owners within the same zoning district.

As our house located on the road with no house on the opposite side.

If you need assistance in answering any of these justifications, contact the Planning Division staff at the One Stop Permit Center.

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$$\begin{array}{r} X=1558\ 392 \\ Y=325\ 529 \end{array}$$


ABBREVIATIONS	TITLE 24 COMPLIANCE	GENERAL NOTES	DRAWING INDEX
<p>AND 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48 50 52 54 56 58 60 62 64 66 68 70 72 74 76 78 80 82 84 86 88 90 92 94 96 98 100 102 104 106 108 110 112 114 116 118 120 122 124 126 128 130 132 134 136 138 140 142 144 146 148 150 152 154 156 158 160 162 164 166 168 170 172 174 176 178 180 182 184 186 188 190 192 194 196 198 200 202 204 206 208 210 212 214 216 218 220 222 224 226 228 230 232 234 236 238 240 242 244 246 248 250 252 254 256 258 260 262 264 266 268 270 272 274 276 278 280 282 284 286 288 290 292 294 296 298 300 302 304 306 308 310 312 314 316 318 320 322 324 326 328 330 332 334 336 338 340 342 344 346 348 350 352 354 356 358 360 362 364 366 368 370 372 374 376 378 380 382 384 386 388 390 392 394 396 398 400 402 404 406 408 410 412 414 416 418 420 422 424 426 428 430 432 434 436 438 440 442 444 446 448 450 452 454 456 458 460 462 464 466 468 470 472 474 476 478 480 482 484 486 488 490 492 494 496 498 500 502 504 506 508 510 512 514 516 518 520 522 524 526 528 530 532 534 536 538 540 542 544 546 548 550 552 554 556 558 560 562 564 566 568 570 572 574 576 578 580 582 584 586 588 590 592 594 596 598 600 602 604 606 608 610 612 614 616 618 620 622 624 626 628 630 632 634 636 638 640 642 644 646 648 650 652 654 656 658 660 662 664 666 668 670 672 674 676 678 680 682 684 686 688 690 692 694 696 698 700 702 704 706 708 710 712 714 716 718 720 722 724 726 728 730 732 734 736 738 740 742 744 746 748 750 752 754 756 758 760 762 764 766 768 770 772 774 776 778 780 782 784 786 788 790 792 794 796 798 800 802 804 806 808 810 812 814 816 818 820 822 824 826 828 830 832 834 836 838 840 842 844 846 848 850 852 854 856 858 860 862 864 866 868 870 872 874 876 878 880 882 884 886 888 890 892 894 896 898 900 902 904 906 908 910 912 914 916 918 920 922 924 926 928 930 932 934 936 938 940 942 944 946 948 950 952 954 956 958 960 962 964 966 968 970 972 974 976 978 980 982 984 986 988 990 992 994 996 998 1000</p>	<p>THE FOLLOWING APPLIED TO REMODELED CONSTRUCTION ONLY:</p> <ol style="list-style-type: none"> <li>1. R-3 TYPICAL WALL INSULATION AT EXTERIOR WALLS</li> <li>2. EXTERIOR OPERABLE WINDOWS AND DOORS SHALL BE PROVIDED WITH TIGHTLY FITTED, TESTED, CERTIFIED AND LABELED (T20-140B).</li> <li>3. ALL MANUFACTURED WINDOWS AND DOORS SHALL MEET THE AIR INFILTRATION REQUIREMENTS OF THE 1972 AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) WINDOW AND DOOR INSTITUTE (AWDI) AND SHALL BE CERTIFIED AND LABELED (T20-140B).</li> <li>4. ALL OPERABLE WINDOWS, DOORS AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE BEARING OPENINGS. UNLESS OTHERWISE SPECIFIED, ALL BEARING OPENINGS SHALL BE BEARING OPENINGS.</li> <li>5. ALL BEARING OPENINGS SHALL BE BEARING OPENINGS.</li> <li>6. ALL BEARING OPENINGS SHALL BE BEARING OPENINGS.</li> <li>7. ALL BEARING OPENINGS SHALL BE BEARING OPENINGS.</li> <li>8. ALL BEARING OPENINGS SHALL BE BEARING OPENINGS.</li> <li>9. ALL BEARING OPENINGS SHALL BE BEARING OPENINGS.</li> <li>10. ALL BEARING OPENINGS SHALL BE BEARING OPENINGS.</li> </ol>	<p>1. REMODELING EXISTING KITCHEN 2. EXPANDING EXISTING LIVING ROOM AND EXISTING DINING ROOM</p>	<p>1. ALL REBAR, ANCHOR BOLTS, NAILS AND GRADING ELECTRICAL ARE TO BE IN PLACE AT TIME OF FOUNDATION INSPECTION</p> <p>2. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT TIME OF INSPECTION</p> <p>3. ANY OPEN SPACE BETWEEN TRIMMER AND WOOD DOOR JAMB SHALL BE SQUARED BY A SINGLE PIECE OF WOOD EXTENDING NOT LESS THAN 1/4" ABOVE AND BELOW THE TRIMMER PLATE. TRIMMER PLATES SHALL BE ATTACHED TO SILL AND WOOD MEMBER IN NOT LESS THAN 1/4" X 2 1/4" X 2 1/4" EACH. CHAINS SHALL BE PROVIDED TO SECURE TRIMMER TO SILL.</p> <p>4. PROVIDE PRESSURE TREATED WOOD TO EXTERIOR OF BUILDING IF MOISTURE PROTECTION IS REQUIRED. PROVIDE 2" X 4" WOOD STUDS TO EXTERIOR OF BUILDING IF MOISTURE PROTECTION IS REQUIRED.</p> <p>5. PROVIDE 2" X 4" WOOD STUDS TO EXTERIOR OF BUILDING IF MOISTURE PROTECTION IS REQUIRED.</p> <p>6. PROVIDE 2" X 4" WOOD STUDS TO EXTERIOR OF BUILDING IF MOISTURE PROTECTION IS REQUIRED.</p> <p>7. PROVIDE 2" X 4" WOOD STUDS TO EXTERIOR OF BUILDING IF MOISTURE PROTECTION IS REQUIRED.</p> <p>8. PROVIDE 2" X 4" WOOD STUDS TO EXTERIOR OF BUILDING IF MOISTURE PROTECTION IS REQUIRED.</p> <p>9. PROVIDE 2" X 4" WOOD STUDS TO EXTERIOR OF BUILDING IF MOISTURE PROTECTION IS REQUIRED.</p> <p>10. PROVIDE 2" X 4" WOOD STUDS TO EXTERIOR OF BUILDING IF MOISTURE PROTECTION IS REQUIRED.</p>

A2

DRAWING NUMBER

OF 5 DRAWINGS

PROJECT

PHASE

DRAWN BY

CHECKED BY

DATE

MARCH 16, 2006

Phan Nguyen  
Residence

Dat Phan &  
Nga Nguyen

545 East Arques Avenue  
Sunnyvale, Ca 94085

AT Home Design

AT Home Design  
1000 North 1st Street  
Sunnyvale, Ca 94087  
(408) 222-0000  
atdesign.com  
Architectural@atdesign.com

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REVISIONS

THIS DRAWING AND THE INFORMATION  
CONTAINED HEREIN ARE THE PROPERTY  
OF AT HOME DESIGN. NO PART  
HEREOF SHALL BE REPRODUCED OR  
TRANSMITTED IN ANY FORM OR  
BY ANY MEANS, ELECTRONIC OR  
MECHANICAL, WITHOUT THE  
WRITTEN PERMISSION OF AT HOME  
DESIGN.

ELECTRICAL NOTES

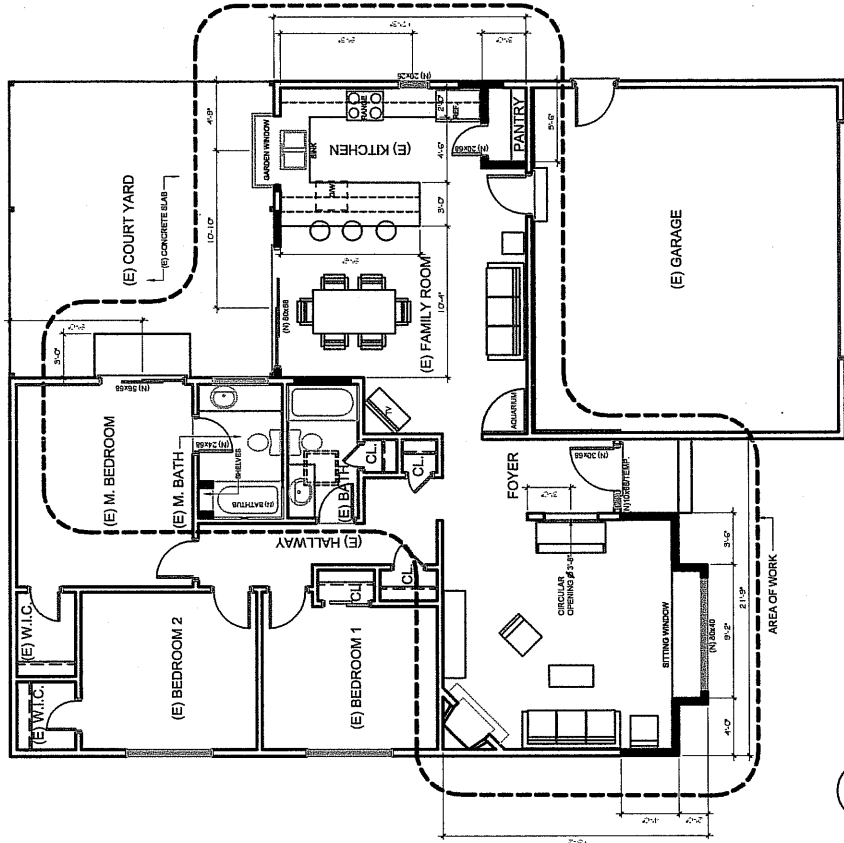
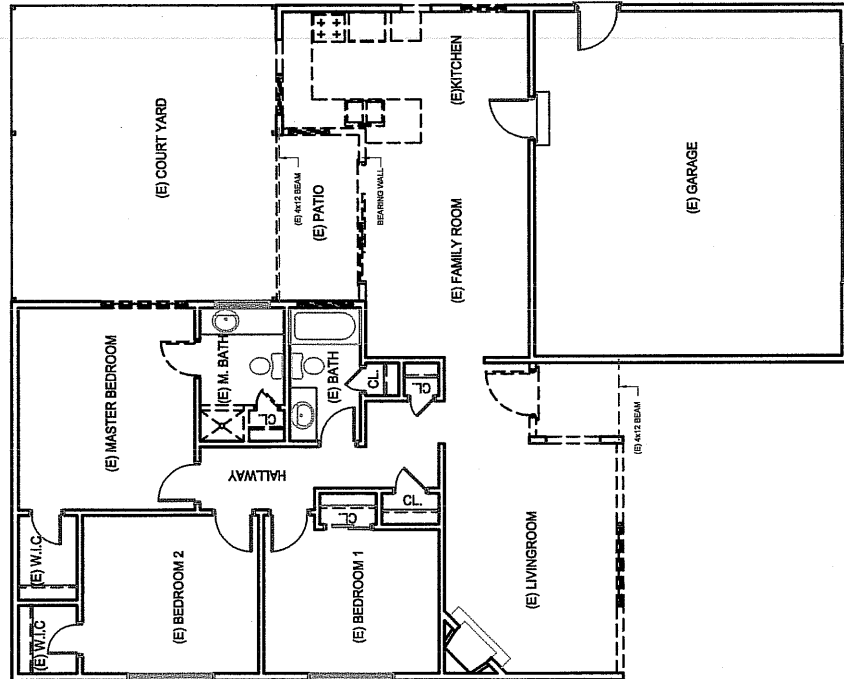
1. CODES: 2000 NEC
2. GROUNDING: GROUND SERVICE PANEL TO U.P.E.R. GROUND & GARAGE
3. SERVICE PANEL: ELECTRICAL CONTRACTOR TO VERIFY SIZE & LOAD OF SERVICE PANEL
4. WIRING: ROMEX PER CODE
5. SWITCH: ROCKER STYLE SWITCH, OWNER TO SPECIFY LOCATIONS OF SPECIAL LIGHT SWITCHES WITH NIGHT LIGHTS
6. VERIFY EXISTING SMOKE DETECTOR TO MEET CURRENT CODE REQUIREMENT
7. ALL LIGHT SWITCHES ARE TO BE WALL MOUNTED AT 48" HIGH (TYP.)
8. ELECTRICAL OUTLETS, SWITCHES, JACKS, ETC. SHALL BE FURNISHED WITH MATCHING WALL PLATES AND THE EXISTING. ALL ELECTRICAL BOXES LOCATED WITHIN EXTERIOR WALLS SHALL BE FURNISHED WITH COVER PLATE GASKETS (TYP.)
9. ELECTRICAL SYMBOLS LISTED ON THE ELECTRICAL PLAN LEGEND ARE FOR GENERAL USE. DOWNSIDE AND ANY SYMBOLS NOT INDICATED ON THE PLAN
10. KITCHEN AND BATHROOM LIGHTING FIXTURES FOR GENERAL ILLUMINATION SHALL BE FLUORESCENT-TYPE FIXTURES AND SHALL BE EQUIPPED WITH LAMPS PROVIDING 40 LUMENS PER WATT MIN.

ELECTRICAL LEGEND & SYMBOLS

GPI	GROUND FAULT INTERRUPTER	WP	WATER PROOF
	STANDARD DUPLEX OUTLETS		SMOKE DETECTOR
	SWITCHES		CLING MOUNTED FIXTURE
	THREE (FOUR) WAY SWITCHES		RECESSED FIXTURE
	DIMMER SWITCH		EXT. WALL MOUNTED LIGHT FIXTURE
	EXHAUST FAN AND FLUORESCENT LIGHT		FLUORESCENT LIGHT FIXTURE
	HOSE-BIB		ELECTRICAL PANEL

SYMBOLS - LEGENDS - ABBREVIATIONS

- (E) WALLS / DOOR / WINDOW TO REMOVE
- (E) WALLS / DOOR / WINDOW TO REMAIN (FT. IN X FT. IN.)
- (N) WALLS OR PARTITIONS



2. DEMOLITION PLAN

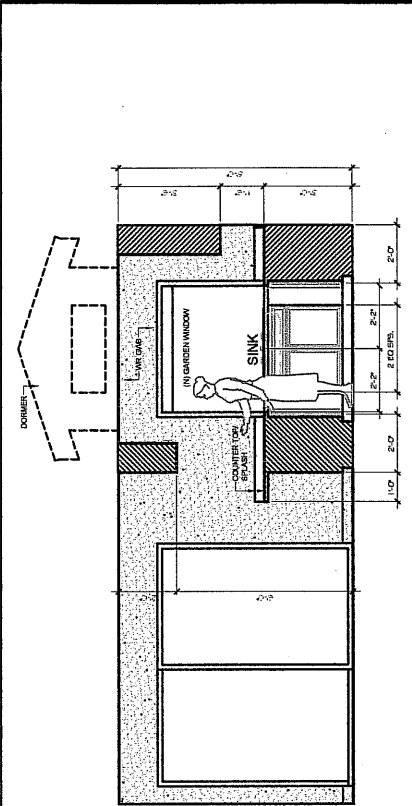
1. NEW FLOOR PLAN - ELECTRICAL PLAN

1/4" = 1'-0"

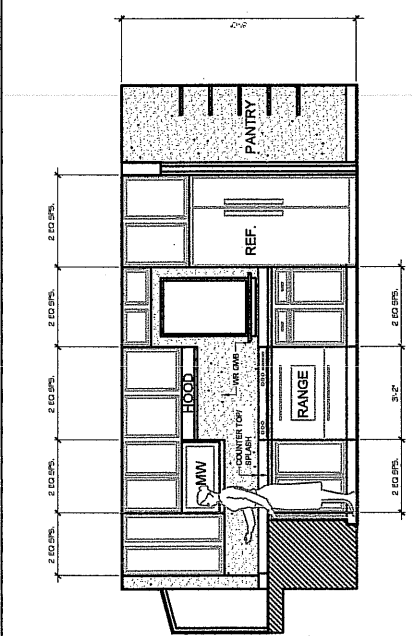
1/4" = 1'-0"

Phan Nguyen  
Residence  
Dat Phan &  
Nga Nguyen  
545 East Arques Avenue  
Sunnyvale, Ca 94085  
AT Home Design  
1875 Tustin Ave  
Sunnyvale, Ca 94087  
(408) 322-8789  
Architectural@gmail.com

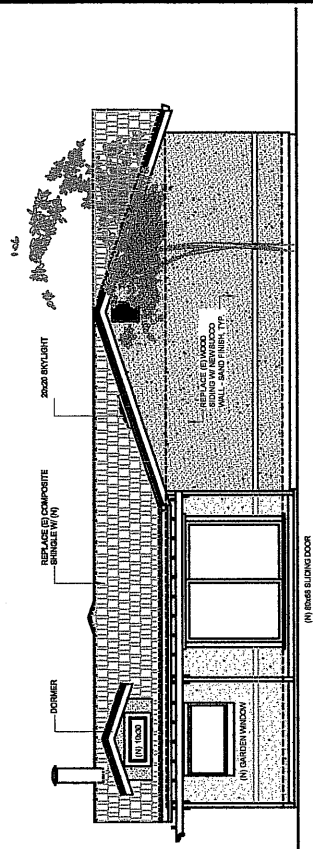
THE DRAWING AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF THE AT HOME DESIGN, 2007  
EXTERIOR & INTERIOR ELEVATIONS  
DRAWING NUMBER  
A3  
OF 5 DRAWINGS  
PROJECT: PHAN NGUYEN RES  
DRAWN BY: NL  
CHECKED BY: AT  
DATE: MARCH 16, 2006



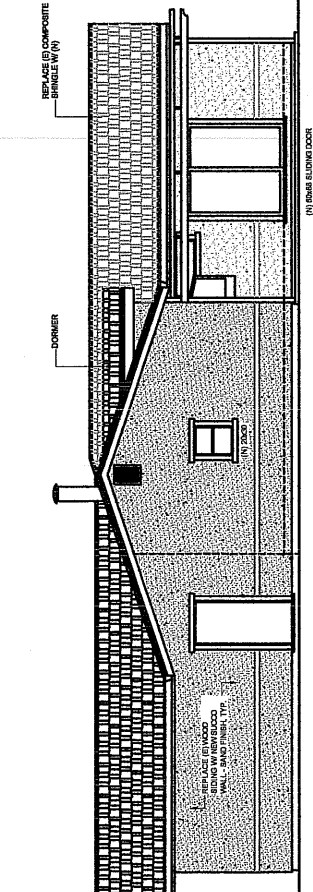
5. ELEVATION @ KITCHEN 1/4" = 1'-0"



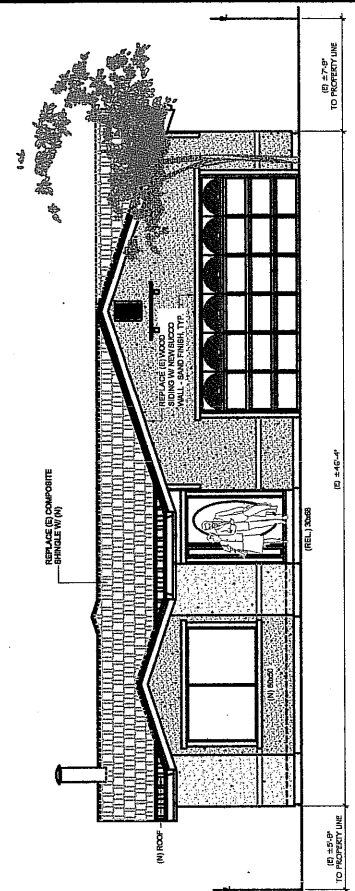
6. ELEVATION @ KITCHEN 1/4" = 1'-0"



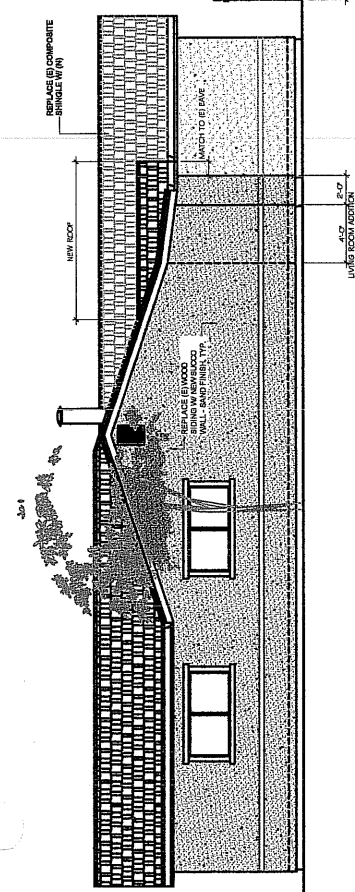
3. NORTH ELEVATION 1/4" = 1'-0"



4. EAST ELEVATION 1/4" = 1'-0"



1. SOUTH ELEVATION 1/4" = 1'-0"



2. WEST ELEVATION 1/4" = 1'-0"





03/18/2006